

A Project by



**NIRMAN**  
WAY TO SUCCESS

LIVE IN  
THE TRADITION  
WITH  
**MODERN  
AURA**



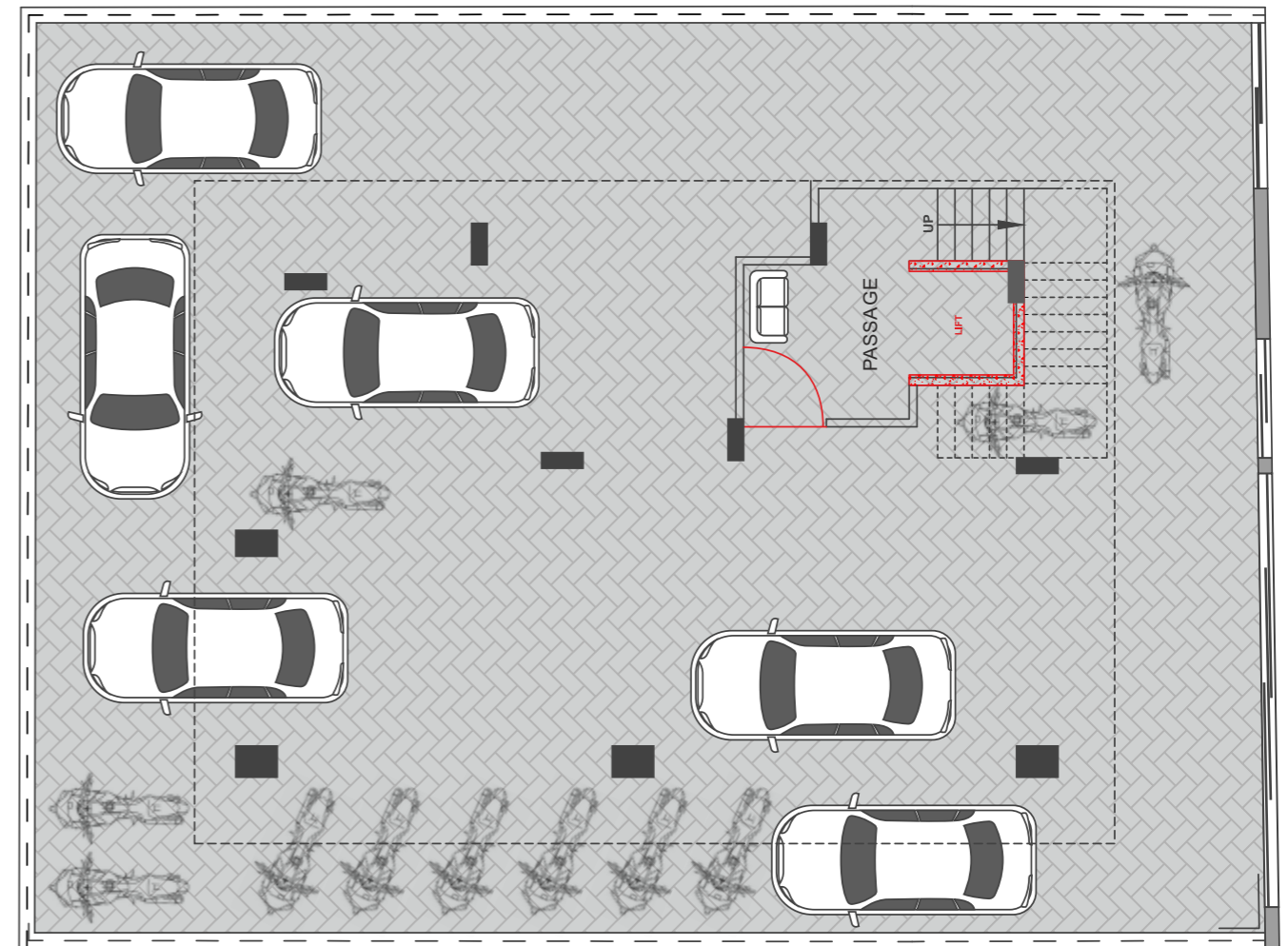
**Aditya Aura**  
A LUXURIOUS ARENA



# GROUND FLOOR PARKING



Alloted 1 car &  
2 two wheeler parking  
in rotation base



PEACEFUL  
resident  
area in the  
HEART  
of city

- All four sides of the building will be open which gives the feel of a villa.
- The surroundings include schools, Malls, Hospitals and other areas of entertainment.
- Daily needs market available
- Nearest attraction :  
Jain temple, Shreenathji Haweli, Swami Narayan Temple, Lohana Bhavan

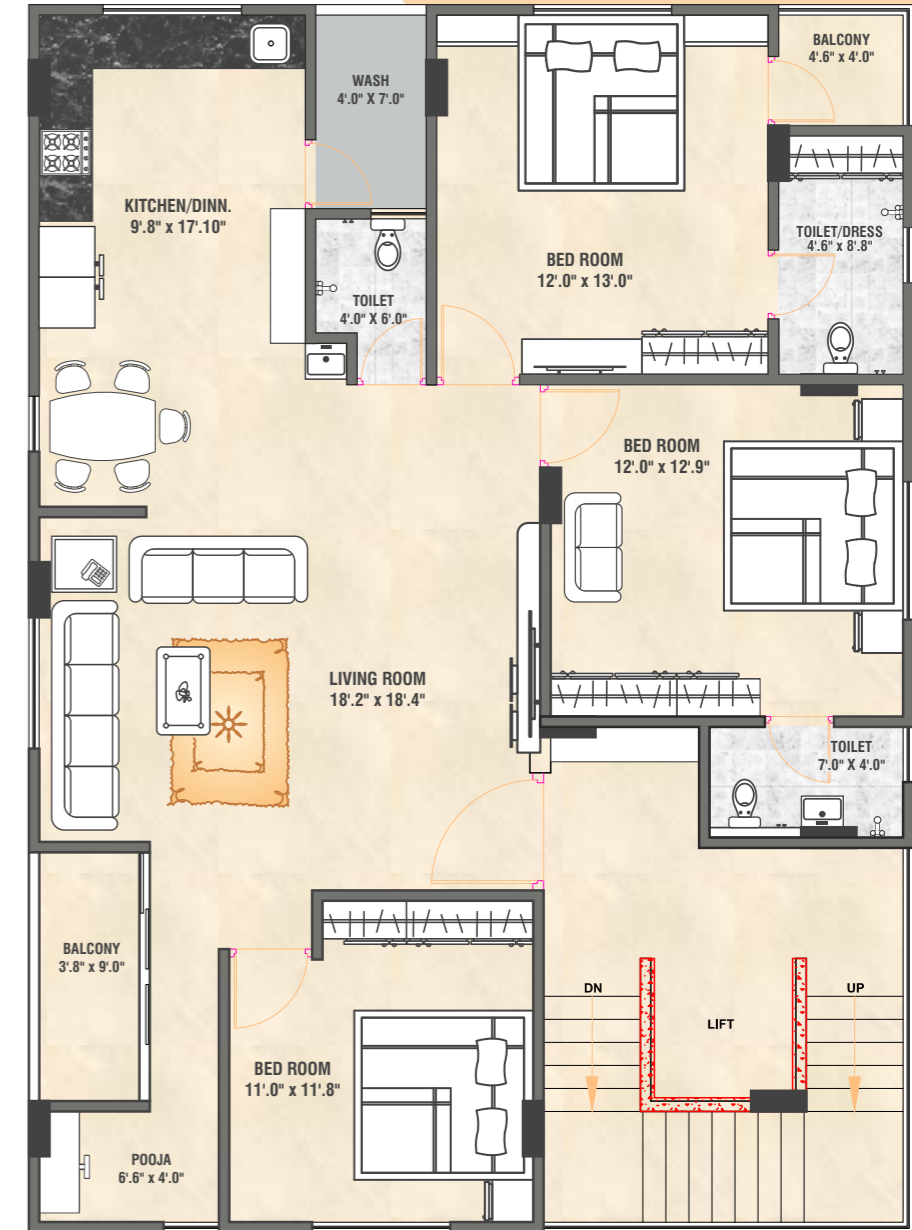
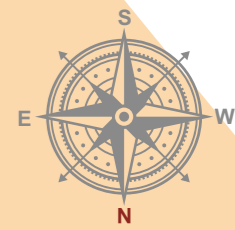
7.50 MT. WIDE ROAD

9.00 MT. WIDE ROAD



## 3 BHK

BUILT UP AREA - 1256 SQ. FT  
S. BUILT UP AREA - 1850 SQ. FT



1<sup>st</sup>-4<sup>th</sup>

## FLOOR PLAN

### GENERAL SPECIFICATIONS:

- Biometric entry facility to each unit & common entry
- Anchor, RR Kabel or equivalent concealed copper wiring and modular switches.
- AC points with copper piping, insulation & drain pipe.
- Decorative stone platform with SS sink for Kitchen.
- Digital 2 x 1 wall tiles upto slab level & 32" x 32" floor tiles with epoxy grouting.
- Jequar, Hindware, Cera or equivalent makes CP & sanatory fittings.
- Internal wall putty with primer.
- External roller plaster, texture with weather shield paint.
- RO purifier for each unit.
- Anti termite treatment with integrated pipeline.
- Insulated water proofing treatment along with china mosaic on terrace.
  - Terrace railing will be provided by developers as per design approved by architect.
  - Remote operated entrence gate.
    - 24 x 7 water supply by borewell.
    - Underground water tank with VMC water storage.
      - CC TV camera & tele calling common entry.

- Standard make auto door SS cabin elevator.
- Earthquake resistance RCC frame structures.
- AAC light weight block brick work.
- Double door frame & main door with Veneer Police, Internal door both side laminated.
- Yale, Godrej, Europa or equivalent all door lock fittings.
- Water harveting system for Saving water.
- LED lighting for common space & parking area.
- Over head water tank with auto sensor.
- Heavy aluminium section with Reflective Glass & safty grill for Windows & Balcony.

- 24 x 7 VMC water supply in kitchen sink.
- Decorative name plate & letterbox for each member in parking area.

### AMENITES

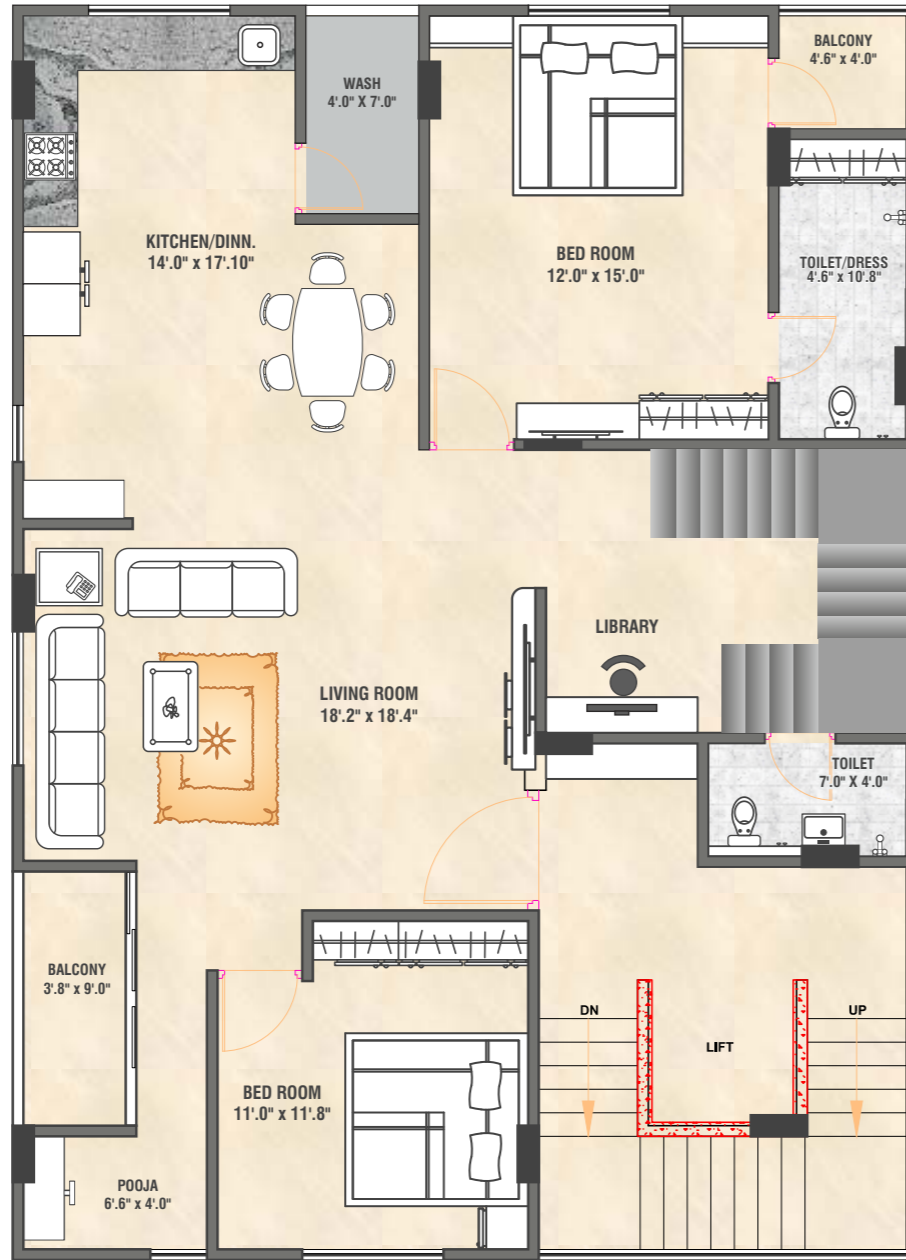
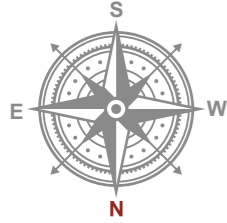
- Mini Theatre cum Mini Gym on common tarrace.
- Beautiful artificial garden on common tarrace.
- Gate to gathering space on common tarrace.

# 4 BHK

## PENTHOUSE

BUILT UP AREA  
2126 SQ. FT

S. BUILT UP AREA  
3100 SQ. FT

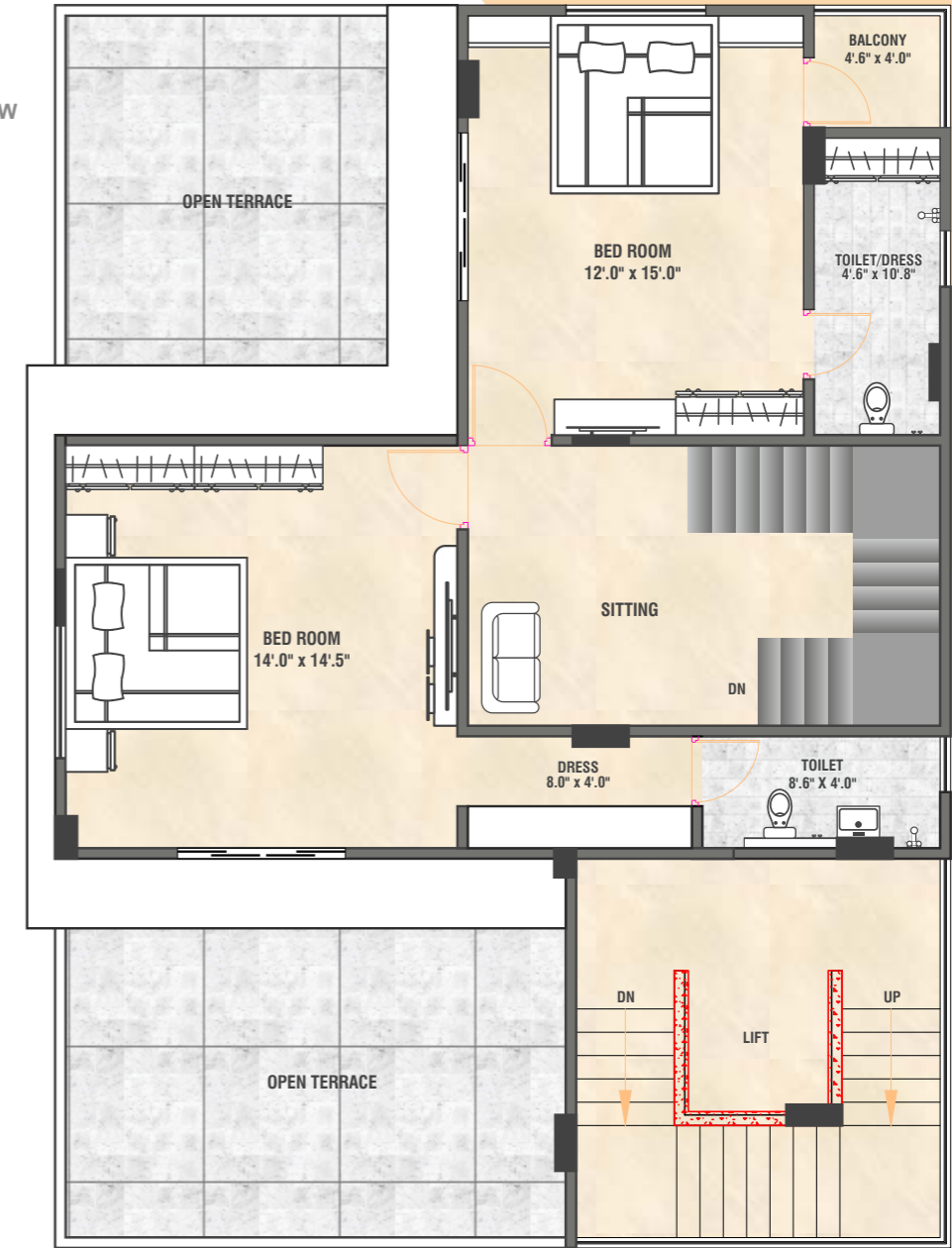


5<sup>th</sup>

### FLOOR LOWER PLAN

India's leading banking partner for Home Loan

- Distances from the site :
- Airport : 9 kms
  - Railway station : 3 kms
  - Central Bus Depot : 3 kms
  - Auto stand within walking distance



5<sup>th</sup>

### FLOOR UPPER PLAN



## GENERAL TERMS / CONDITIONS

- Cancellation of cheques occur due to faulty payments.
- In case any cancellation is made in booking, the amount will be refunded only after the same unit is booked by someone else and after deducting 20% of the booking amount
- All members, part of the society should abide by the society laws/laws implemented by the society.
- Change in elevation & structure of any kind is not permitted.
- With prior permission, only the changes which do not affect the structural and elevation design will be permitted.
- Any changes made or undertaken by the developers from time to time, will be binding on each and every member.
- The outdoor units of the AC shall be placed in the designated areas only, as per the architects plan.
- Possession shall be given after a month, once all accounts have been settled along with the status on construction.
- Any Government or legal charges, for instance Stamp Duty & Registration charges, GST etc. will be considered as extras.
- The developers will not be responsible in case of delay in water supply, electricity connection, drainage works by authority.
- The purpose of the brochure is for information only, which has no relation or does not form a part of any legal document or agreement.
- Parking will be available and allotted to the members only.

## PAYMENT TERMS

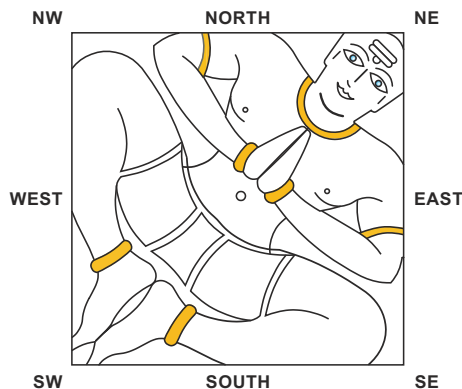
- |                    |                         |
|--------------------|-------------------------|
| • Booking - 20%    | • Outside Plaster - 10% |
| • First Slab - 20% | • Inside Plaster - 10%  |
| • Fifth Slab - 20% | • Finishing Level - 10% |
| • Brick Work - 10% |                         |

## ARCHITECT

Tarun Patel  
Design Point

## STRUCTURAL CONSULTANT

Vinubhai Patel  
Zarna Associates



## VASTU CONSULTANT

Jigar Thakkar  
King Maker Consultancy

## Vastu Based Design

The main idea of a Vastu design is to resonate with Earth, Water, Fire, Air, Space which gives cosmic energies. The house needs to be in a particular alignment with north/south/east/west. The Vastu Structures are founded on a vastu purusha mandala. At **Aditya Aura** we tried to match this concept.

A Project by



## SITE ADDRESS

**Aditya Aura**, 4, Alakhnanda Society,  
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