



A PROJECT BY
GAYATRI DEVELOPERS

Site : Aamrapali Resi - com
Opp. Shyamal Enclave, Nr Shreem Shrushti,
30mtr Sun Pharma Road, Vadodara - 12.

**PAYMENT TERMS FOR 4 BHK
TRIPLEX LUXURIOUS BUNGALOWS**

- 10% Booking Stage
- 10% Plinth Level
- 20% G.F Slab Level
- 15% F.F Slab Level
- 15% S.F Slab Level
- 15% Plaster Level
- 10% Flooring Level
- 05% finishing Level

**PAYMENT TERMS FOR COMMERCIAL
TOWER A**

- 20% Booking Stage
- 15% Plinth Level
- 10% First Floor Slab
- 10% Second Floor Slab
- 10% Third Floor Slab
- 15% On Plaster Level
- 15% On Flooring
- 05% On Finishing Stage

**PAYMENT TERMS FOR FLATS
3 BHK TOWER B & C**

- 10% Booking Stage
- 10% Basement Slab Level
- 05% Ground Floor Slab
- 05% First Floor Slab
- 05% Second Floor Slab
- 05% Third Floor Slab
- 05% Fourth Floor Slab
- 05% Fifth Floor Slab
- 05% Sixth Floor Slab
- 05% Seventh Floor Slab
- 05% Eight Floor Slab
- 05% Ninth Floor Slab
- 05% Tenth Floor Slab
- 05% Eleventh Floor Slab
- 10% On Plaster Level
- 05% On Flooring
- 05% On Finishing Stage

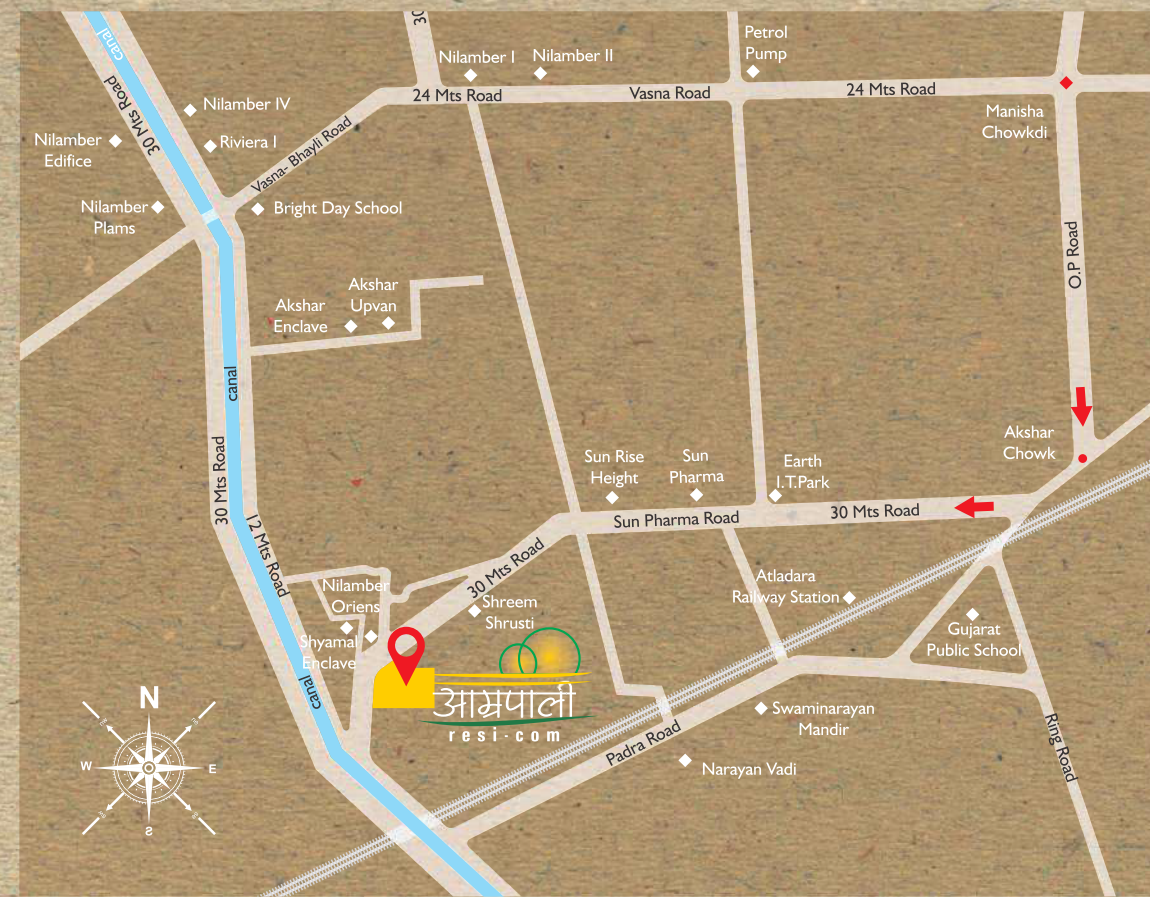
**PAYMENT TERMS FOR FLATS
3 BHK TOWER E,F,G**

- 10% Booking Stage
- 10% Plinth Level
- 10% Ground Floor Slab
- 10% First Floor Slab
- 10% Second Floor Slab
- 10% Third Floor Slab
- 10% Fourth Floor Slab
- 10% Fifth Floor Slab
- 10% On Plaster Level
- 05% On Flooring
- 05% On Finishing Stage

**PAYMENT TERMS FOR FLATS
2 BHK TOWER H , I , J , K , L**

- 10% Booking Stage
- 10% Plinth Level
- 7.5% Ground Floor Slab
- 7.5% First Floor Slab
- 7.5% Second Floor Slab
- 7.5% Third Floor Slab
- 7.5% Fourth Floor Slab
- 7.5% Fifth Floor Slab
- 7.5% Sixth Floor Slab
- 7.5% Seventh Floor Slab
- 10% On Plaster Level
- 05% On Flooring
- 05% On Finishing Stage

NOTES : (1) Premium quality materials or equivalent branded products shall be used for all construction work as per Structure Engineer design (2) External changes are strictly not allowed (3) Development charges, stamp duty documentation charges, and all Government or municipal taxes, GST, MGVL meter deposit should be levied separate (4) In case of booking cancellation amount will be refunded from the booking of same premise after deducting 10% of booking amount (5) Possession will be given after one month of all settlement of account (6) Extra work at the cost of client with prior estimate needs to be given in advance but no change in elevation and plan will be done while every reasonable care has been taken in preparing this brochure. (7) The promoter can not be held responsible for any inaccuracy in this contents. (8) All plans, information and specification are subject to changes may be required by the promoters and can not form part of an offer, contract or agreement. (9) Amenities and Specification are not consider in Shops (9) T&C. Apply *



Shops - Offices - Showrooms
2 & 3 BHK Luxurious Flats
3 & 4 BHK Penthouse



4 BHK Triplex
Luxurious Bungalows

In the vicinity

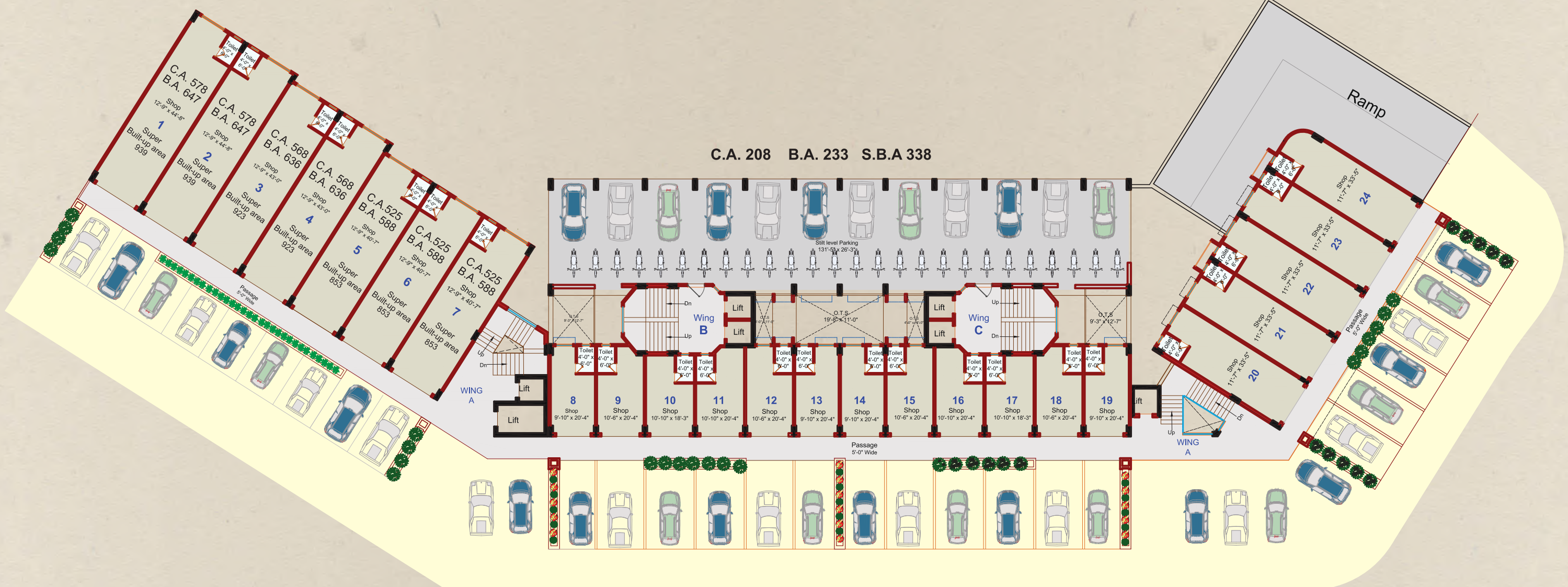
-  AIRPORT – 14 KM
-  BUS STATION & RAILWAY STATION – 7 KM
-  SWAMINARAYAN TEMPLE – 2.5 KM
-  MULTISPECIALITY HOSPITAL – 2 KM
-  SHOPPING MALL & MULTIPLEX – 1 KM
-  SCHOOL (ALL BOARDS) – 2 KM

Triplex Bungalows		
Plot no.	Plot area	Extra land
1	1167	159
2	1008	0
3	1008	0
4	1025	17
5	1025	17
6	1008	0
7	1008	0
8	1025	17
9	1025	17
10	1394	385
11	1497	489
12	1092	83
13	1064	56
14	1008	0
15	1008	0
16	1025	17
17	1025	17
18	1008	0
19	1008	0
20	1188	180
21	1188	180
22	1008	0
23	1008	0
24	1025	17
25	1025	17

Triplex Bungalows		
Plot no.	Plot area	Extra land
26	1008	0
27	1435	427
28	1423	415
29	1008	0
30	1025	17
31	1025	17
32	1008	0
33	1008	0
34	1188	180
35	1188	180
36	1008	0
37	1008	0
38	1025	17
39	1025	17
40	1008	0
41	1408	400
42/1	1262	253
42	1235	227
43	1531	522
44	1552	544
45	1080	71
46	1076	67
47	2343	1335
48	1062	53
49	1025	17
50	1331	322



Ground Floor Plan
1st & 2nd Floor Plan – Shops
3rd to 7th Floor Plan – Offices

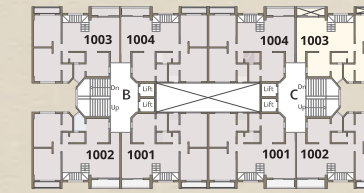






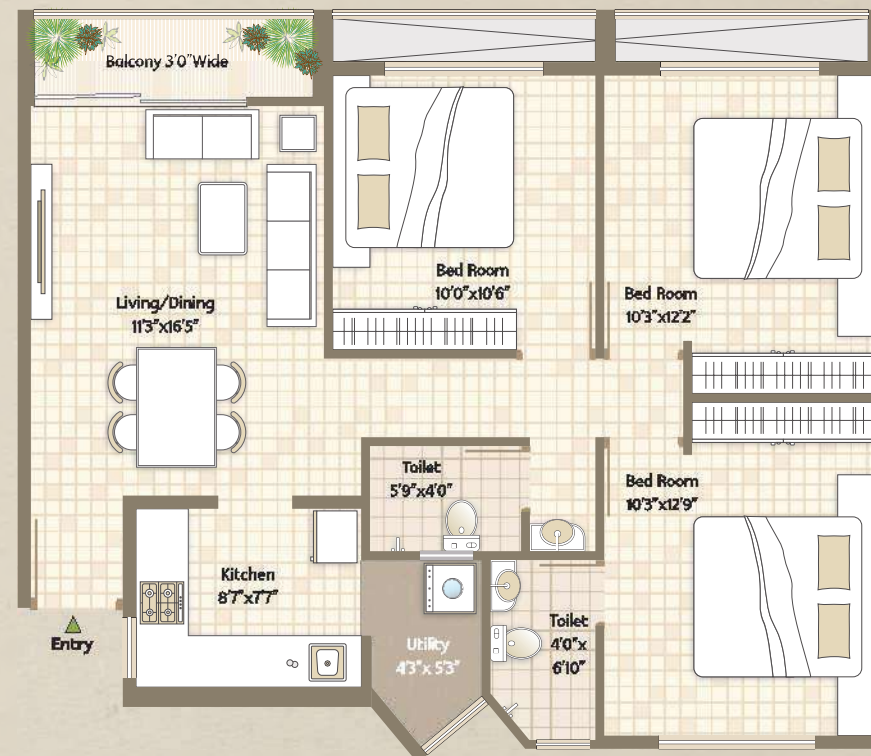
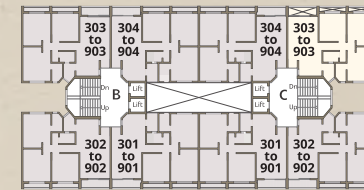
4 BHK B&C

Tower
LOWER PENT HOUSE
Carpet Area : 1375 Sq.ft.
B.A. : 1485 Sq.ft.
Open Terrace : 219 Sq.ft.
S.B.A. : 2041 Sq.Ft.

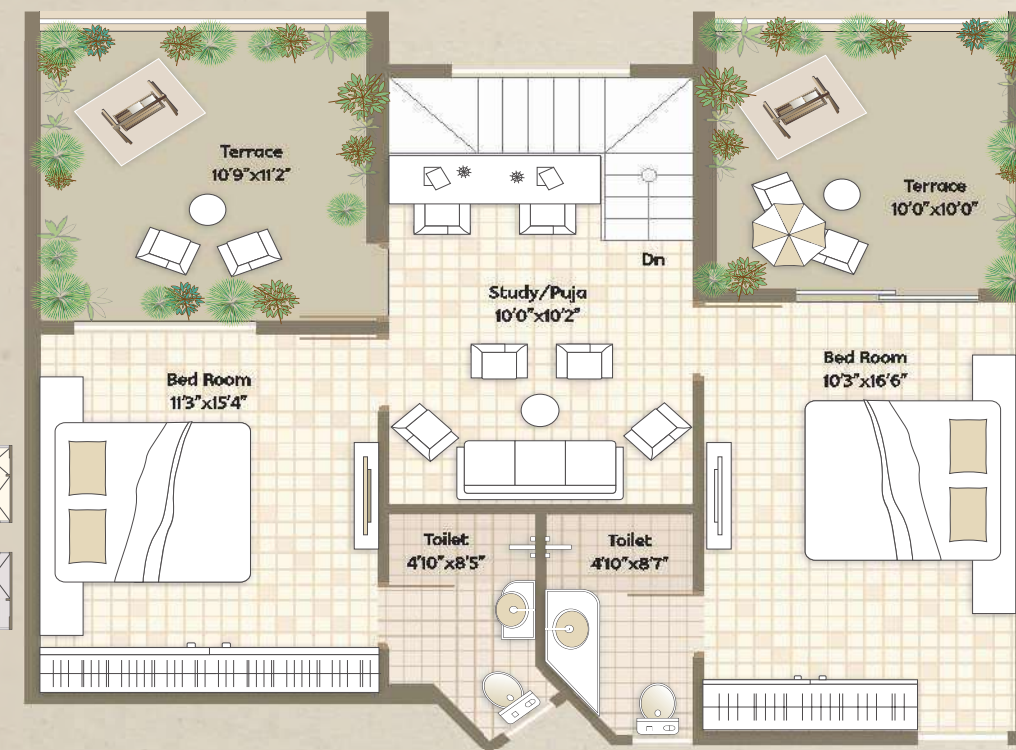
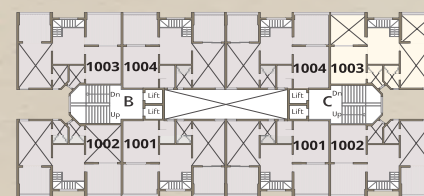


3 BHK B&C

Tower
TYPICAL FLOOR PLAN
Carpet Area : 792 Sq.ft.
B.A. : 850 Sq.ft.
S.B.A. : 1150 Sq.Ft.

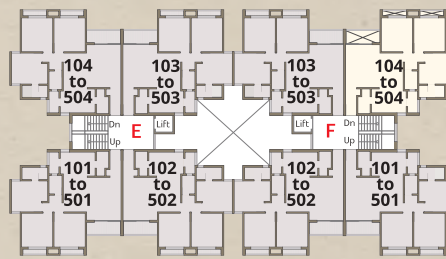


Tower B&C UPPER PENT HOUSE



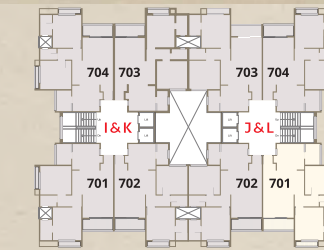
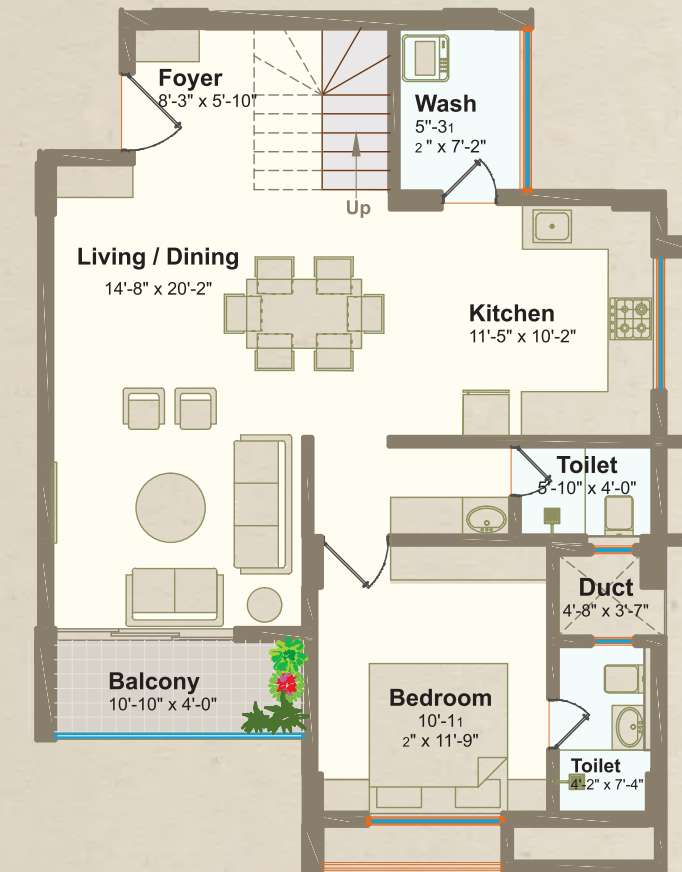
Tower
3 BHK
E-F-G
TYPICAL FLOOR PLAN

Carpet Area : 900 Sq.ft.
B.A. : 952 Sq.ft.
S.B.A. : 1300 Sq.Ft.



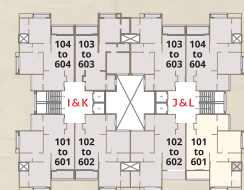
Tower
3 BHK
H-I-J-K-L
LOWER PENT HOUSE

Carpet Area : 1258 Sq.ft.
B.A. : 1364 Sq.ft.
Open Terrace : 255 Sq.ft.
S.B.A. : 1900 Sq.Ft.

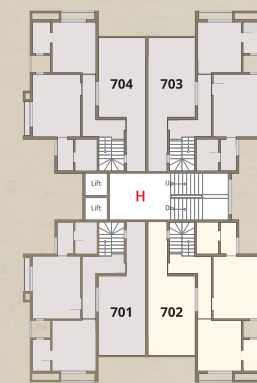
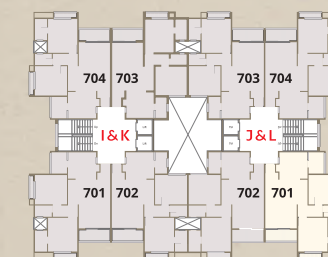


Tower
2 BHK
H-I-J-K-L
TYPICAL FLOOR PLAN

Carpet Area : 752 Sq.ft.
B.A. : 806 Sq.ft.
S.B.A. : 1110 Sq.Ft.



Tower
H-I-J-K-L
UPPER PENT HOUSE





Ground Floor

Minimum Plot Area : 1008 Sq.Ft.
Carpet Area : 1565 Sq.Ft.

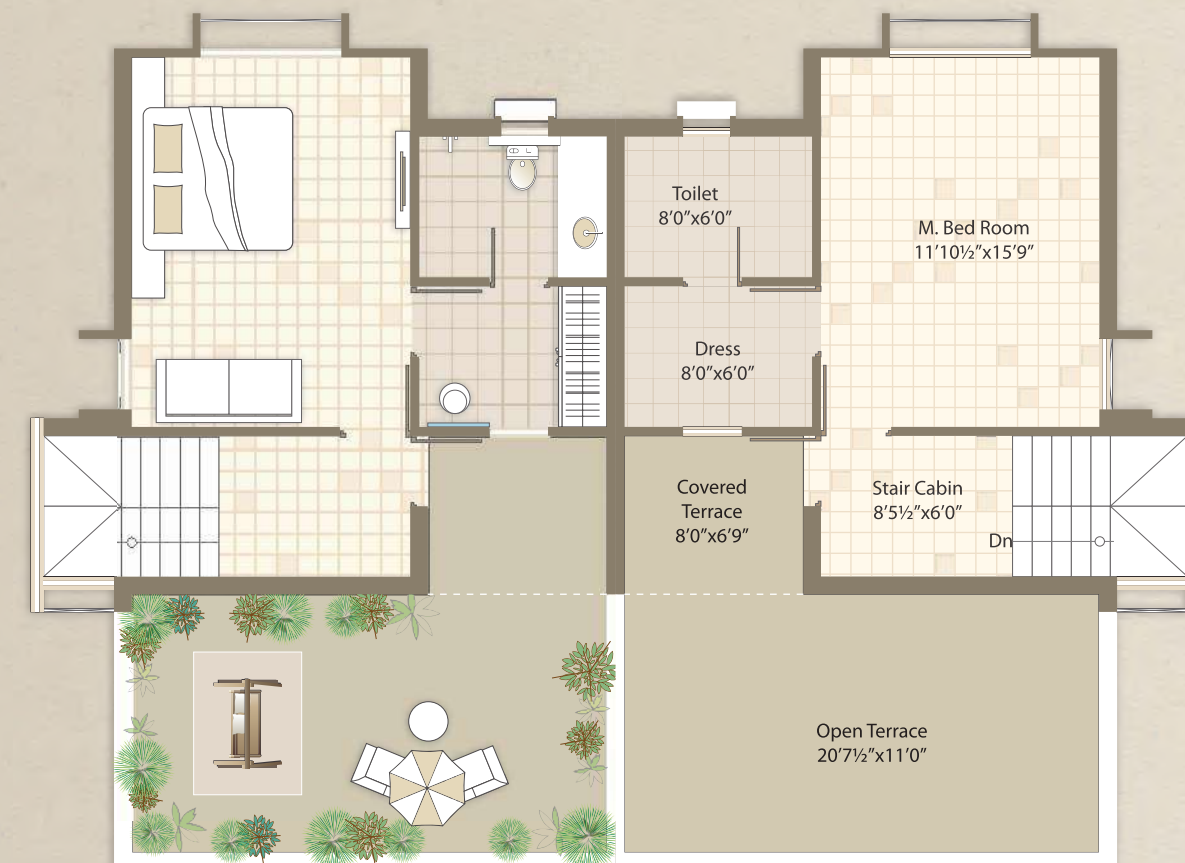
B.A. : 1890 Sq.Ft.
S.B.A. : 2551 Sq.Ft.



1st Floor



2nd Floor





Amenities For Flats



Elegant Entrance Gate



Security Cabin for safety



Internal RCC Roads with Paver Blocks



Club House



Open Air Theater



Landscape Garden with jogging track



Temple with Garden



Children Play Area



Corporation Water and Drainage Facilities.



Adequate car parking



Standard quality elevators



Water Harvesting system